

LOCATION MAP (INSET)

Cornerstone
Consulting Engineers & Design Services, Inc.

213 West Main Street, Lansdale, PA 19446
Phone: 215-362-2600, Fax: 215-362-8400
WWW.CORNERSTONEINC.COM
Lehigh Valley Region
Philadelphia Region
Poccono Region
610-820-8200
570-839-1770

GENERAL NOTES:

- THIS PLAN REFERENCES EASTERN STATES ENGINEERING, INC. HUNTINGDON VALLEY, PA 19006
A SURVEY BY: PLAN ENTITLED: "PLAN OF SURVEY"
PLAN DATED: 09/16/1997
- OWNER/APPLICANT: 2600 PHILMONT AVENUE ACQUISITION, LLC
1473 REVELATION ROAD
MEADOWBROOK, PA 19046
EMAIL: HEALTHCARESTAT@AOL.COM
PHONE: 215-960-4590
- PROJECT LOCATION INFORMATION: 2600 PHILMONT AVENUE
PARCEL ID NO. 41-00-06823-00-3
MONTGOMERY COUNTY, LOWER MORELAND TOWNSHIP
HUNTINGDON VALLEY, PENNSYLVANIA 19006
- DEVELOPMENT TYPE: SKETCH PLAN
PROPOSED USE: OFFICE & SENIOR LIVING
- ZONING INFORMATION: ZONING DISTRICT: B-OI BUSINESS OFFICE INSTITUTIONAL
EXISTING USE: OFFICE BUILDING
PROPOSED USE: OFFICE BUILDING WITH PROPOSED SENIOR LIVING FACILITY

ZONING BULK AND AREA REQUIREMENTS:
CURRENT B-OI AND MU-REV ZONING DISTRICTS:

MINIMUM LOT REQUIREMENTS:	B-OI REQUIRED	MU-REV REQUIRED	EXISTING	PROPOSED
MAX. NET DENSITY:	N/A	100 FT	N/A	N/A
MIN. LOT WIDTH:	100 FT	100 FT	488.81 FT (PHILMONT AVENUE)	488.81 FT (PHILMONT AVENUE)
MIN. LOT AREA:	10,000 SF	10,000 SF	391.34 (RED LION ROAD)	391.34 (RED LION ROAD)
MAX. LOT COVERAGE:	60%	80%	214,791 SF	206,014 SF
MIN. FRONT YARD SETBACK:	50 FT	50 FT	119.32 FT	62.34 FT
MIN. SIDE YARD SETBACK:	20 FT TOTAL BOTH SIDES, MIN. 8 FT FOR ONE SIDE	20 FT EACH SIDE	187.54 FT	20 FT
MIN. REAR YARD DEPTH:	20 FT	20 FT	N/A	N/A
MAX. BUILDING HEIGHT:	50 FT	45 FT	4 STORES	4 STORES
MAX. BUILDING COVERAGE:	40%	65%	8.4% (18,068 SF)	18.7% (38,470 SF)

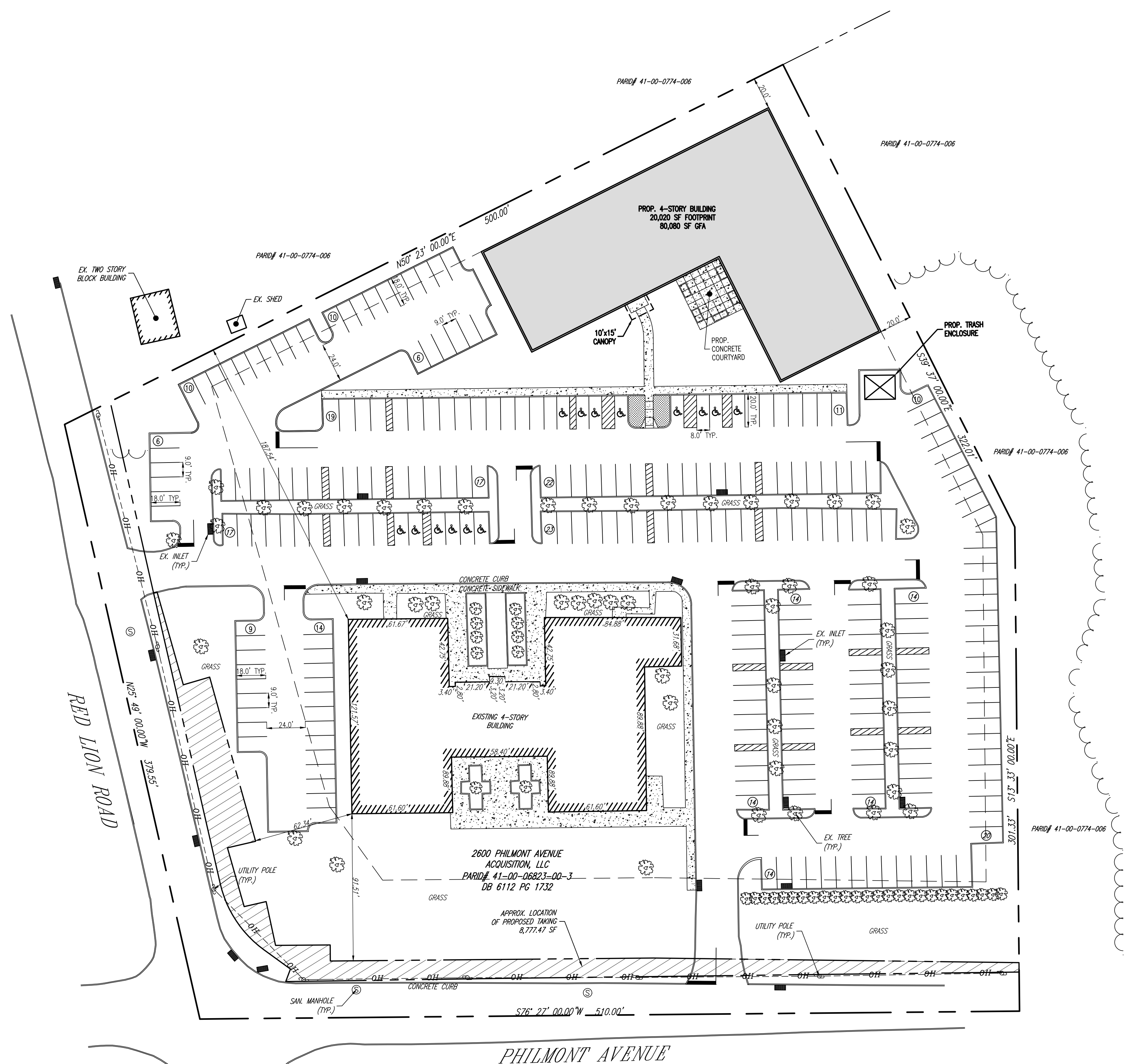
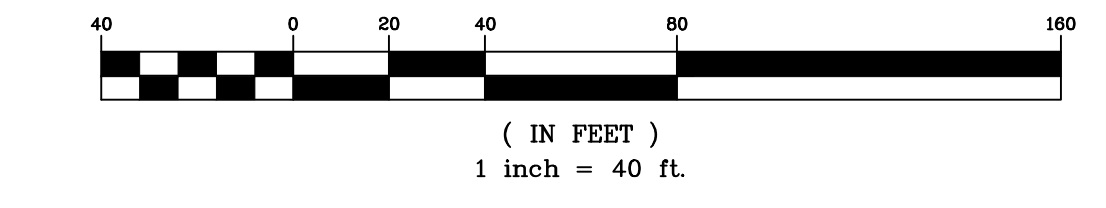
7. PARKING REQUIREMENTS:

OFFICE USE: ONE (1) PARKING SPACE PER 350 SF OF GROSS FLOOR AREA.
72,272 SF / 350 SF = 206.49 SPACES
SENIOR LIVING USE: ONE (1) PARKING SPACE PER THREE (3) BEDS = 34 SPACES
TOTAL REQUIRED PARKING: 241 SPACES
PROPOSED PARKING: 241 SPACES (INCLUDING 14 ACCESSIBLE SPACES)

LEGEND & ABBREVIATIONS

— — — — —	PROPERTY BOUNDARY	⊙	SEWER MANHOLE
- - - - -	ADJOINER BOUNDARY	⊕	COMMUNICATION MANHOLE
- · - · - ·	RIGHT OF WAY LINE	⊖	ELECTRIC MANHOLE
— ○ —	EXISTING FENCE	⊗	WATER MANHOLE
- - - - -	EXISTING OVERHEAD WIRE	⊙	UNKNOWN MANHOLE
— — — — —	EXISTING CURB	⊕	STORM INLET
— — — — —	EXISTING DEPRESSED CURB (DC)	⊖	GAS METER
— — — — —	EXISTING SIGN	⊗	WATER METER
— — — — —	EXISTING UTILITY POLE (UP)	⊕	GAS VALVE
— — — — —	GUY WIRE	⊖	WATER VALVE
— — — — —	LAMP POST	⊗	CLEAN OUT
		(TBR)	TO BE REMOVED

GRAPHIC SCALE



NO.	BY	DESCRIPTION	DATE

PENNSYLVANIA ONE CALL SYSTEM, INC.
922 Irwin Road
West Mifflin, Pennsylvania
15122-1078

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J.B. ANDERSON
PROFESSIONAL ENGINEER
DELAWARE LICENSE No. PE 1488
PENNSYLVANIA LICENSE No. PE 05538
MARYLAND LICENSE No. 39313 NEW
JERSEY LICENSE No. GE45204
VIRGINIA LICENSE No. 680246525

PROJECT LOCATION
SKETCH PLAN
2600 PHILMONT AVENUE
HUNTINGDON VALLEY
LOWER MORELAND TOWNSHIP
MONTGOMERY COUNTY
PENNSYLVANIA 19006

PREPARED FOR:
2600 PHILMONT AVENUE
ACQUISITION, LLC

TITLE
SITE PLAN 2

PROJ. #	24-0758	DATE	10-07-2024
CAD ID.	24-0758	DRN BY	GRW
SCALE	AS NOTED	CHK BY	JBA
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REVISION 0			