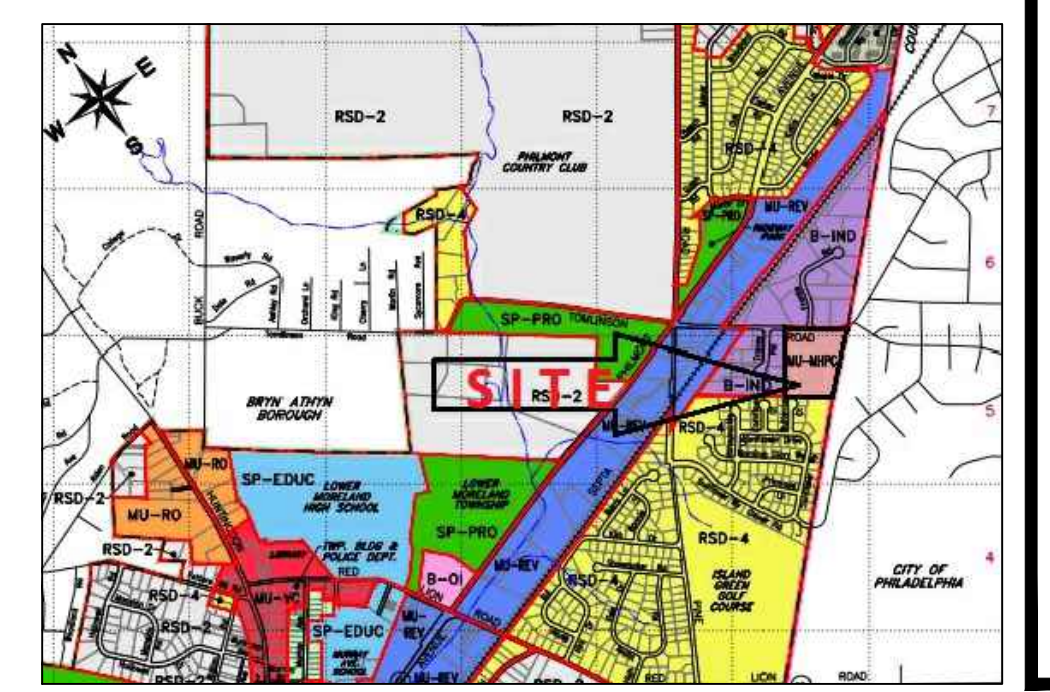
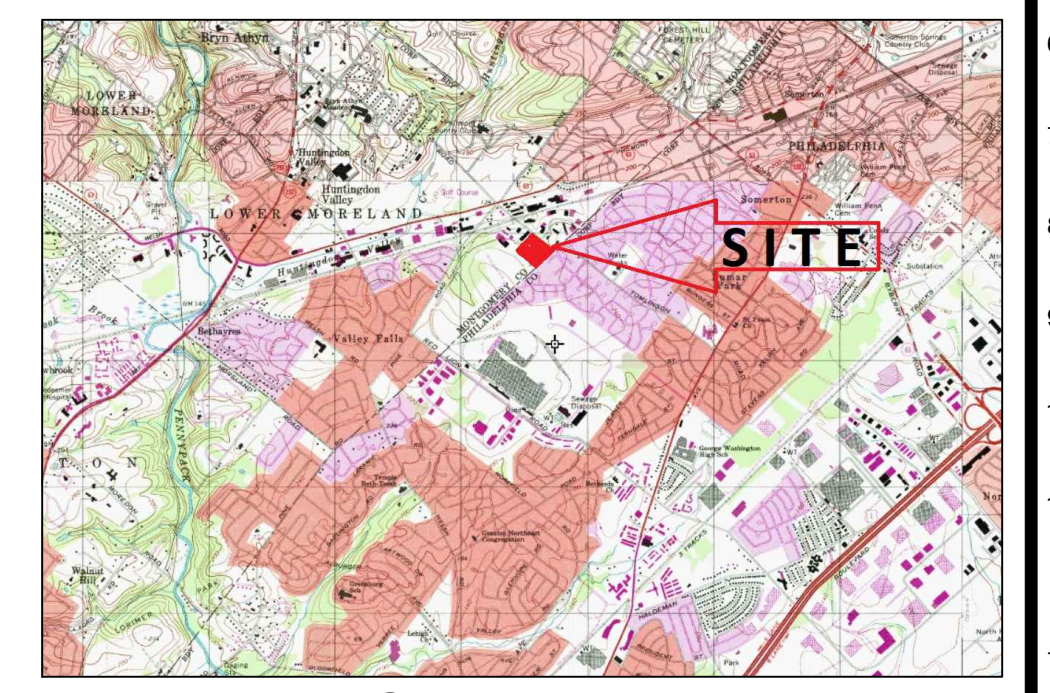
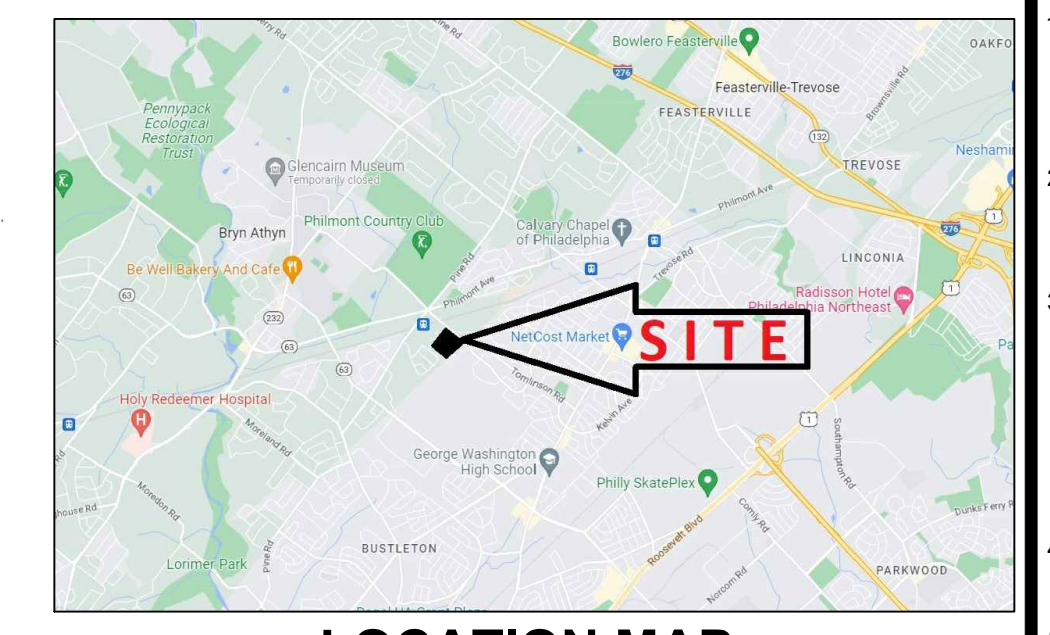
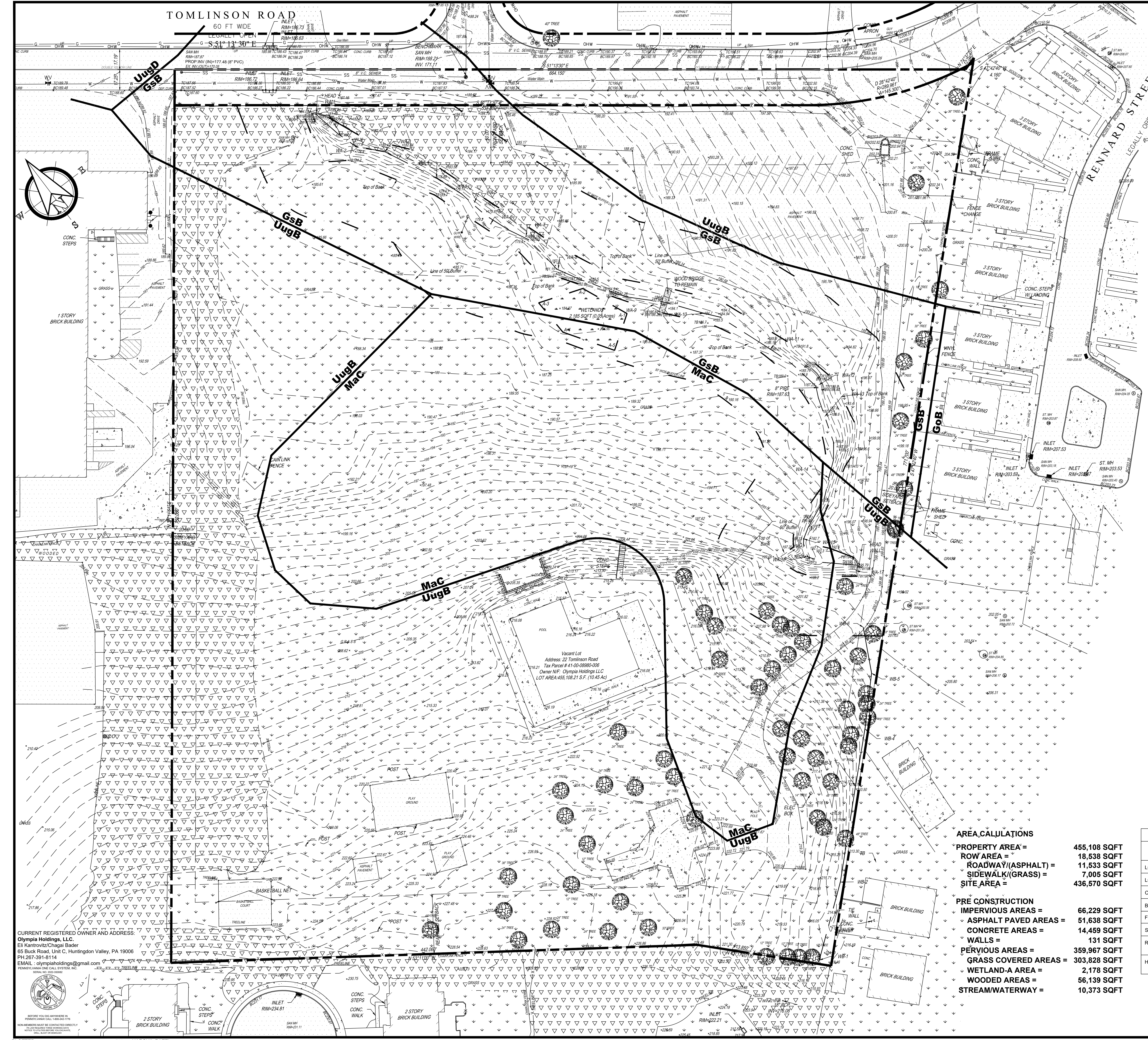


TOMLINSON ROAD
60 FT WIDE



- NOTES:**
- Boundary Right-of-Way dimensions are presented in the City of Philadelphia District Standard of measurement (DS). Other dimensions/distances as per US Standard.
 - Philadelphia District Standard of measurement (DS) is to be used in the City of Philadelphia for Title and Conveyance purposes.
 - Reference deed of record, Parcel ID UPR 41-000980-04 for 22 Tomlinson Rd, Lower Merion Township, PA 19006 and Title Policy (Old Republic National) Owner's Policy File No. FA-A-10-720 dated June 16, 2010. Plan is subjected to all terms and conditions stated within the title search.
 - A conversion from inches to the equivalent foot-decimal expression is for clarity and greater precision.
 - The preparation of this plan by Ambric Technology Corporation does not imply or constitute the approval of city agencies.
 - Plan prepared in accordance with the instructions of Eli Kantrovitz Chagal Bader.
 - Unresolved boundary disputes shall be referred to the City District Surveyor and Registrar.
 - A zoning permit is required for any proposed changes to lot lines including consolidation of existing parcels.
 - The use of this plan for purposes other than as designated herein, would be at the sole risk of the user.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
 - Benchmark elevation, San. M.H. RIM=188.21/INV=171.11 located at the intersection of Tomlinson Rd & Francis Rd, on Lower Merion Township Datum, PA.
 - Ambric Technology Corporation hereby reserves its common law copyrights and all property rights in these drawings, ideas and designs. The information on these sheets are not to be modified or copied in any manner. The information on these sheets are not to be assigned to any third party, without the expressed written consent of Ambric Technology Corporation.

AMBRIC TECHNOLOGY CORPORATION
Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
(phone) 215-928-8930/484-257-0010
(fax) 215-928-8980/484-257-0016

LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	R.O.W. LINE
[Symbol]	ADJACENT LOT LINES
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING SETBACK
[Symbol]	EXISTING STREAM CENTERLINE
[Symbol]	EXISTING STREAMBANK
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING CONCRETE CURB
[Symbol]	EXISTING EDGE OF PAVING
[Symbol]	EXISTING EDGE OF GRAVEL
[Symbol]	EXISTING CHAINLINK FENCE
[Symbol]	EXISTING IRON FENCE
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EXISTING CITY PLAN ELEVATION
[Symbol]	EXISTING SPOT ELEVATION
[Symbol]	EXISTING GAS
[Symbol]	EXISTING COMBINED SEWER
[Symbol]	EXISTING SANITARY LATERAL
[Symbol]	EXISTING STORM PIPES
[Symbol]	EXISTING TELECOMMUNICATIONS
[Symbol]	EXISTING UNDERGROUND ELECTRIC
[Symbol]	EXISTING OVERHEAD WIRE
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING STORM MANHOLE
[Symbol]	EXISTING WATER MANHOLE
[Symbol]	EXISTING TELEPHONE MANHOLE
[Symbol]	EXISTING STORM INLETS
[Symbol]	EXISTING UTILITY POLE W/STREETLIGHT
[Symbol]	EXISTING TRAFFIC SIGN
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING LIGHT
[Symbol]	EXISTING PARKING METER

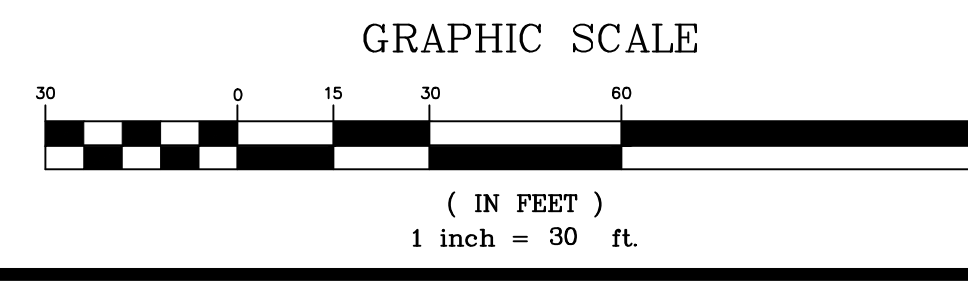
AREA CALCULATIONS

PROPERTY AREA = 455,108 SQFT
ROW AREA = 18,538 SQFT
ROADWAY/(ASPHALT) = 11,533 SQFT
SIDEWALK/(GRASS) = 7,005 SQFT
SITE AREA = 436,570 SQFT

PRE CONSTRUCTION IMPERVIOUS AREAS = 66,229 SQFT
ASPHALT PAVED AREAS = 51,638 SQFT
CONCRETE AREAS = 14,459 SQFT
WALLS = 131 SQFT
PERVIOUS AREAS = 359,967 SQFT
GRASS COVERED AREAS = 303,828 SQFT
WETLAND-A AREA = 2,178 SQFT
WOODED AREAS = 56,139 SQFT
STREAM/WATERWAY = 10,373 SQFT

ZONING DATA

MU-MHPC ZONING DISTRICT	REQUIRED	EXISTING
LOT WIDTH	100' MIN.	558' (VARIES)
LOT AREA	10,000 SQFT MIN.	455,108.21 SQFT
COVERAGE	60% (MAX)	132,457 SQFT (29.1%)
BUILDING COVERAGE	40% (MAX)	0 SQFT (0.0%)
FRONT YARD	50', (40' LONG CORNER)	50'
SIDE YARD	20' (8' MIN ONE SIDE)	20'
REAR YARD DEPTH	20' (50' ALONG RESIDENTIAL)	50'
HEIGHT	50' (15' ACCESSORY USE)	0'



CURRENT REGISTERED OWNER AND ADDRESS:
Olympia Holdings, LLC
 Eli Kantrovitz/Chagal Bader
 65 Buck Road, Unit C, Huntingdon Valley, PA 19006
 PH: 267-391-8114
 EMAIL: olympiaholdings@gmail.com
 PENNSYLVANIA ONE CALL SYSTEM: 800-486-6346

22 TOMLINSON ROAD
HUNTINGDON VALLEY, PA 19006
 (Lower Merion Township, Montgomery County)

PROJECT: Olympia Holdings, LLC, Eli Kantrovitz/Chagal Bader, 65 Buck Road, Unit C, Huntingdon Valley, PA 19006, PH: 267-391-8114

PLAN MADE FOR:

REV.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		

DESIGNED: HNP
DRAWN: HNP
CHECKED: MAF
APPROVED: MAF, Michael A. Fina, P.E. PE084603

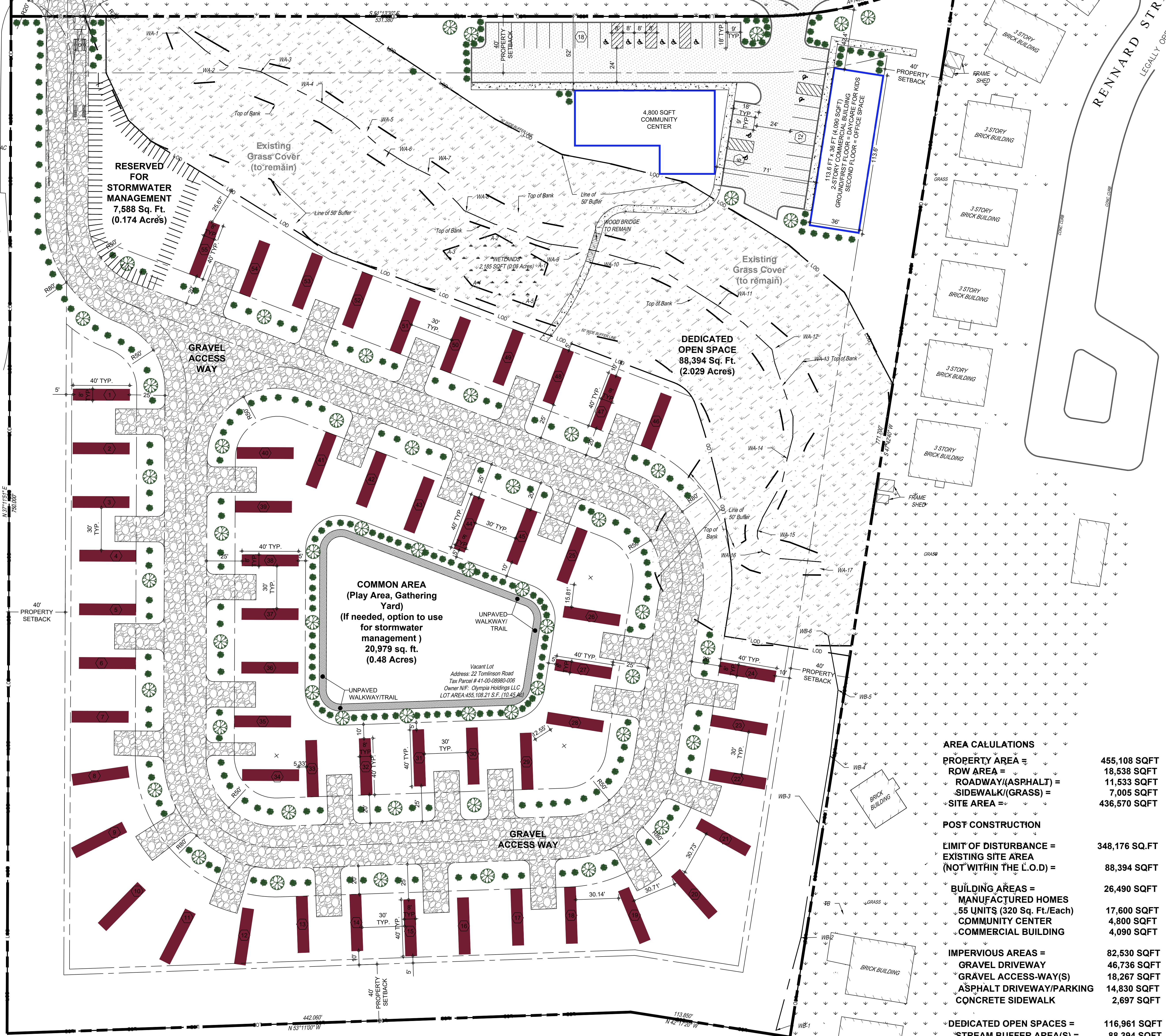
SHEET TITLE: EXISTING FEATURES PLAN

SCALE: 1" = 30'
PROJ. No.: 12958-ENG-23
DATE: 06/07/2024

SHEET NO.: 1

TOMLINSON ROAD
60 FT WIDE
LEGALLY OPEN
S 51° 13' 30" E

RENNARD STREET
LEGALLY OPEN



RESERVED FOR STORMWATER MANAGEMENT
7,588 Sq. Ft.
(0.174 Acres)

4,800 SQFT COMMUNITY CENTER

DEDICATED OPEN SPACE
88,394 Sq. Ft.
(2.029 Acres)

COMMON AREA (Play Area, Gathering Yard)
(If needed, option to use for stormwater management)
20,979 sq. ft.
(0.48 Acres)

AREA CALCULATIONS
PROPERTY AREA = 455,108 SQFT
ROW AREA = 18,538 SQFT
ROADWAY(ASPHALT) = 11,533 SQFT
SIDEWALK(GRASS) = 7,005 SQFT
SITE AREA = 436,570 SQFT

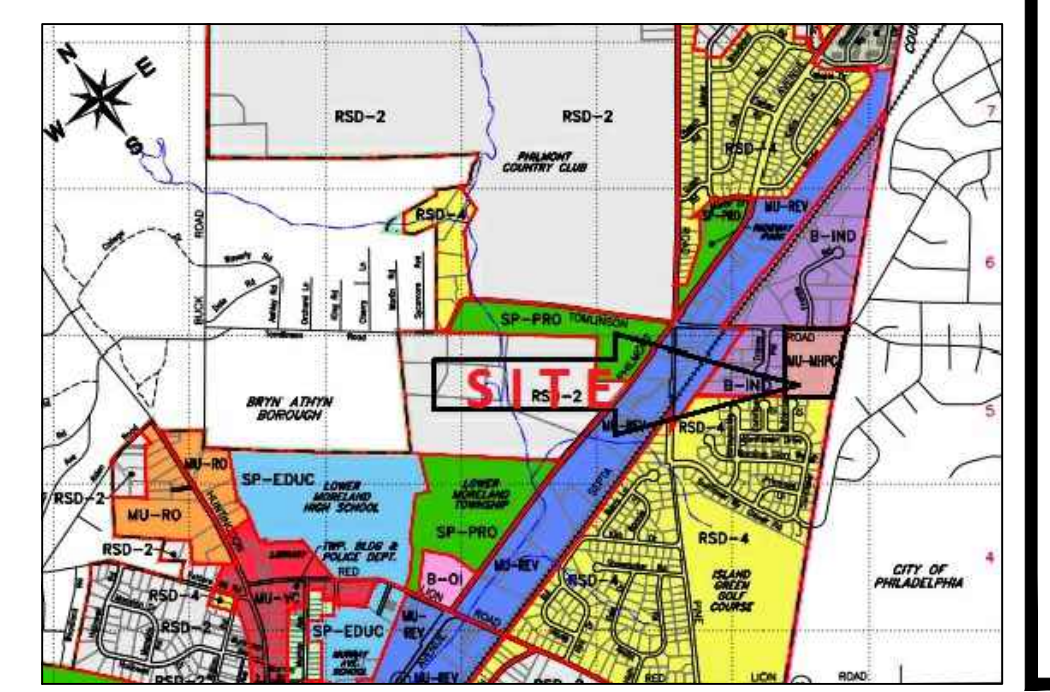
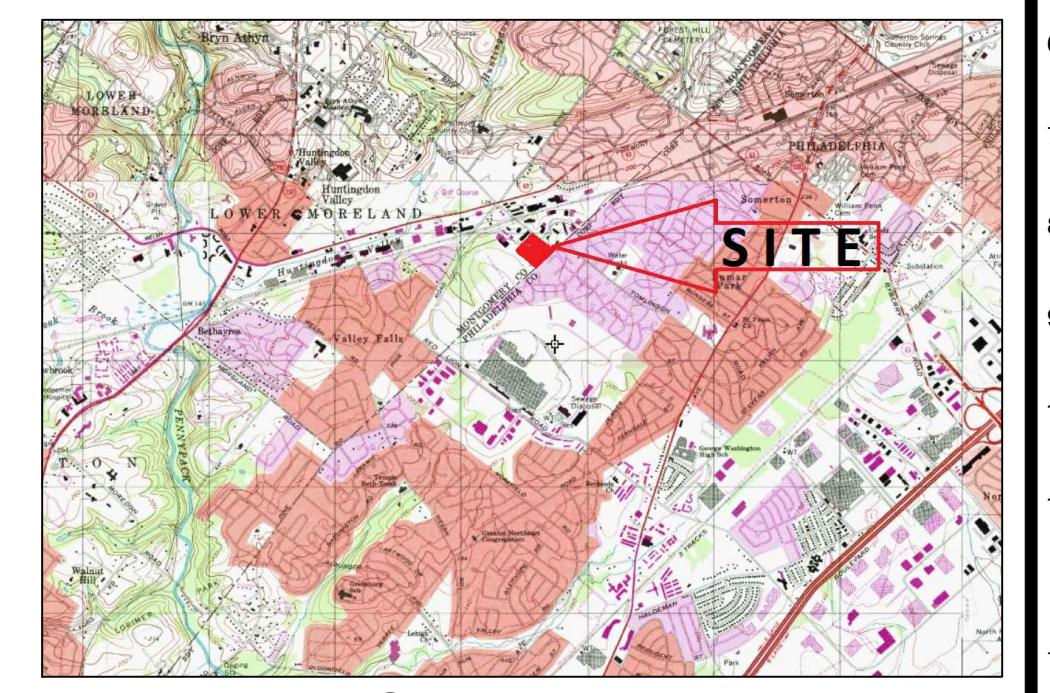
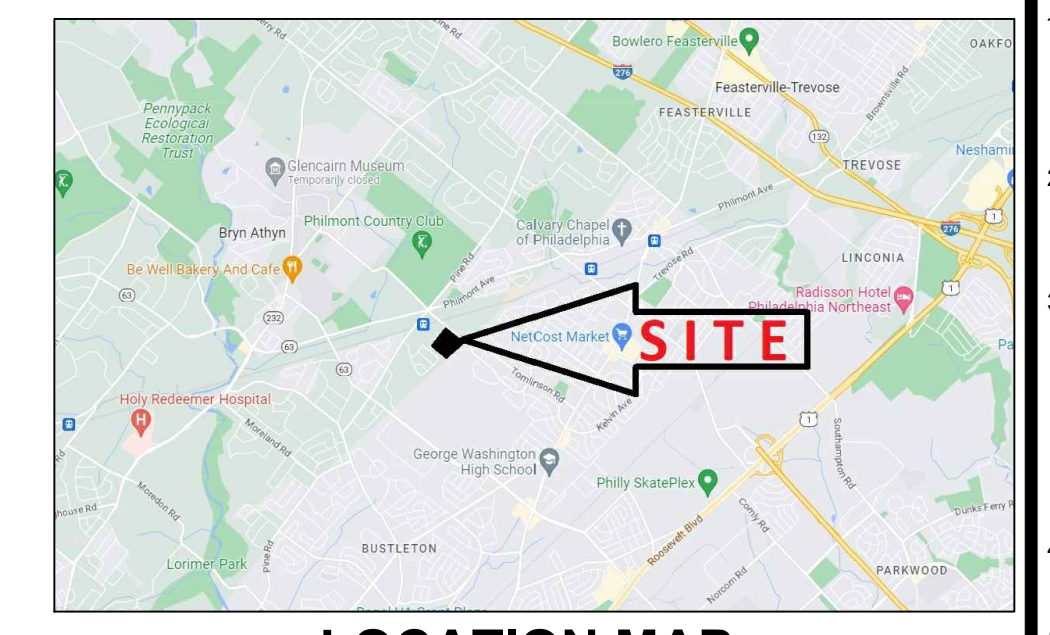
POST CONSTRUCTION
LIMIT OF DISTURBANCE = 348,176 SQ.FT
EXISTING SITE AREA (NOT WITHIN THE L.O.D) = 88,394 SQFT

BUILDING AREAS = 26,490 SQFT
MANUFACTURED HOMES = 17,600 SQFT
55 UNITS (320 Sq. Ft./Each)
COMMUNITY CENTER = 4,800 SQFT
COMMERCIAL BUILDING = 4,090 SQFT

IMPERVIOUS AREAS = 82,530 SQFT
GRAVEL DRIVEWAY = 46,736 SQFT
GRAVEL ACCESS-WAY(S) = 18,267 SQFT
ASPHALT DRIVEWAY/PARKING = 14,830 SQFT
CONCRETE SIDEWALK = 2,697 SQFT

DEDICATED OPEN SPACES = 116,961 SQFT
STREAM BUFFER AREA(S) = 88,394 SQFT
STORMWATER AREA = 7,588 SQFT
COMMON AREA = 20,979 SQFT

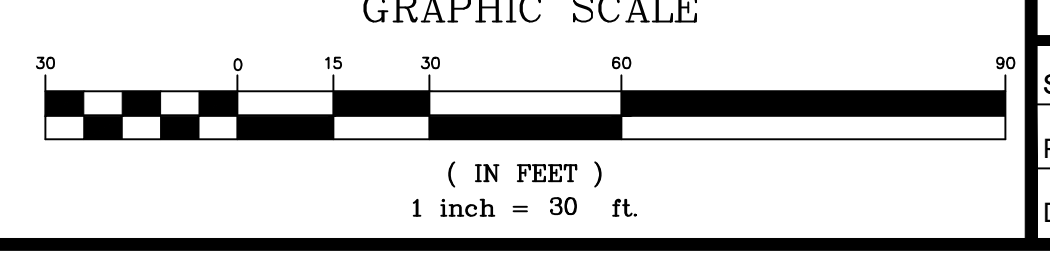
GRASS & LANDSCAPE AREA(S) = 229,175 SQFT



- NOTES:**
- Boundary Right-of-Way dimensions are presented in the City of Philadelphia District Standard of measurement (DS). Other dimensions/distances as per US Standard.
 - Philadelphia District Standard measurement (DS) is to be used in the City of Philadelphia for Title and Conveyance purposes.
 - Reference deed of record, Parcel ID UPR# 41-00-0989-00-6 for 22 Tomlinson Rd, Lower Merion Township, PA 19006 and Title Policy (Old Republic National) Owner's Policy File No. FAA-110-720 dated June 16, 2010. Plan is subjected to all terms and conditions stated within the title search.
 - A conversion from inches to the equivalent foot-decimal expression is for clarity and greater precision.
 - The preparation of this plan by Ambric Technology Corporation does not imply or constitute the approval of city agencies.
 - Plan prepared in accordance with the instructions of Eli Kantorvitz/Chagal Bader.
 - Unresolved boundary disputes shall be referred to the City District Surveyor and Regulator.
 - A zoning permit is required for any proposed changes to lot lines including consolidation of existing parcels.
 - The use of this plan for purposes other than as designated herein, would be at the sole risk of the user.
 - Attention is called to the zoning requirements in the City of Philadelphia Code as amended.
 - Benchmark elevation, San. M.H. RIM=188.21(INV)=171.11 located at the intersection of Tomlinson Rd & Francis Rd, on Lower Merion Township Datum, PA.
 - Ambric Technology Corporation hereby reserves its common law copyrights and all property rights in these drawings, ideas and designs, the information on these sheets are not to be modified or copied in any manner. The information on these sheets are not to be assigned to any third party, without the expressed written consent of Ambric Technology Corporation.

LEGEND

	PROPERTY LINE
	R.O.W. LINE
	ADJOINER LOT LINES
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING STREAM CENTERLINE
	EXISTING STREAMBANK
	EXISTING BUILDING
	EXISTING CONCRETE CURB
	EXISTING EDGE OF PAVING
	EXISTING EDGE OF GRAVEL
	EXISTING CHAINLINK FENCE
	EXISTING IRON FENCE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING CITY PLAN ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING GAS
	EXISTING COMBINED SEWER
	EXISTING SANITARY LATERAL
	EXISTING STORM PIPES
	EXISTING TELECOMMUNICATIONS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD WIRE
	EXISTING WATER MAIN
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING TELEPHONE MANHOLE
	EXISTING STORM INLETS
	EXISTING UTILITY POLE W/STREETLIGHT
	EXISTING TRAFFIC SIGN
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING LIGHT
	EXISTING PARKING METER
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED SIDEWALK
	PROPOSED PAINT STRIPE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED HALF FOOT CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SANITARY LATERAL
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED TELEPHONE LINE
	PROPOSED STORM LATERAL
	PROPOSED STORM PIPES
	PROPOSED UNDERGROUND BASIN
	PROPOSED FENCE
	PROPOSED FIRE LINE
	PROPOSED SEWER LINE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED ELECTRIC LINE
	PROPOSED FURNISHING ZONE
	PROPOSED WALKING ZONE
	PROPOSED BUILDING ZONE
	PROPOSED SPLASH BLOCK
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLETS
	PROPOSED FLOW LINES
	PROPOSED WATER METER PIT
	PROPOSED LIGHT POLE
	PROPOSED SIGN POST
	PROPOSED WHEEL STOP
	PROPOSED CLEANOUT
	PROPOSED CURB STOP
	PROPOSED FRESH AIR INTAKE
	FINISHED FLOOR ELEVATION
	PROPOSED TREE
	PROPOSED LANDSCAPE AREAS
	PROPOSED POROUS PAVING
	PROPOSED ASPHALT PAVING
	PROPOSED PERVIOUS PAVERS
	PROPOSED IMPERVIOUS AREAS



CURRENT REGISTERED OWNER AND ADDRESS:
Olympia Holdings, LLC.
Eli Kantorvitz/Chagal Bader
65 Buck Road, Unit C, Huntingdon Valley, PA 19006
PH: 267-391-8114
EMAIL: olympiaholdings@gmail.com
PHENIX/MAK ONE CALL SYSTEM, INC.
RINK, NO. 202-20006

AMBRIC TECHNOLOGY CORPORATION
Consulting Engineers and Surveyors
100 Pine Street
Colwyn, PA 19023
(phone) 215-928-8930/484-257-0010
(fax) 215-928-8980/484-257-0016

PROJECT:
22 TOMLINSON ROAD
HUNTINGDON VALLEY, PA 19006
(Lower Merion Township, Montgomery County)

CLIENT:
Olympia Holdings, LLC.
Eli Kantorvitz/Chagal Bader
65 Buck Road, Unit C,
Huntingdon Valley, PA 19006
PH: 267-391-8114

PLAN MADE FOR:

REV.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		

DESIGNED: HNP
DRAWN: HNP
CHECKED: MAF
APPROVED: MAF
Michael A. Fina, P.E. PE084603

SHEET TITLE:
CONCEPTUAL SITE PLAN

SCALE: 1" = 30'
PROJ. No.: 12958-ENG-23
DATE: 06/07/2024

SHEET NO.: **2**

